

Roof Coverings, Cladding, etc

Where batterns for roof coverings form part of the plate nailed timber roof truss design it shall be included under the roof construction in the "Carpentry and Joinery" trade and not under this trade

PROFILED METAL SHEETING AND ACCESSORIES

Safintra 0.53mm thick SAFLOK 700 AZ150 G550 interlocking roof sheeting with Z275 spelter to both sides fixed to timber purlins (se elsewhere) with SAFLOK 700 clips screw, all in accordance with manufacturer's recommendations and specifications. Colour to the approval of the Client/Principal/Agent

1. Roof covering with pitches not exceeding 25 degrees

0,6mm Z275 spelter galvanised steel sheet accessories to proceeding roof coverings

2. Ridge cappings 600mm girth  
3. Narrow and broad flute closers 600mm girth

ROOF INSULATION

Roof Underlay

4. Sisalation 405 with a fire rating of B/B1/2 and ISOTHERM Thermal insulation: Thickness 135mm Density: 11.5kg/m<sup>2</sup>

BILL NO.4

CARPENTRY AND JOINERY

SUPPLEMENTARY PREAMBLES

Fixing

All nailing of timber roof trusses, purlins, etc shall be done with galvanised nails. In coastal areas, copper, aluminium or stainless steel nails shall be used

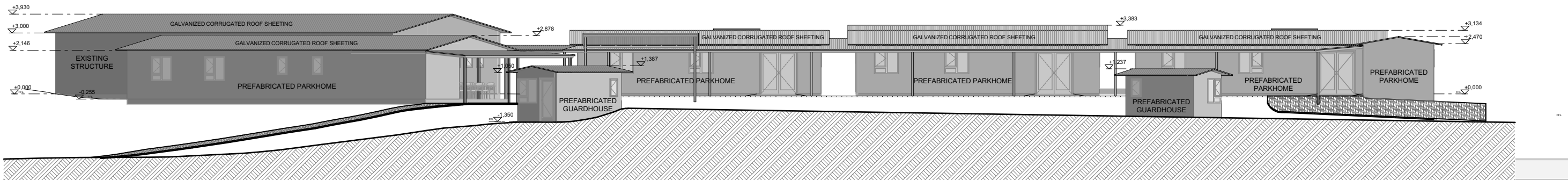
Items described as "nailed" shall be deemed to be fixed with hardened steel nails or pins, or to be shot-pinned, to brickwork or concrete.

Items described as "plugged" shall be deemed to include screwing to fibre, plastic or metal plugs at not exceeding 500mm centres, and where described as "bolted", the bolts have been given elsewhere

Prefabricated roof trusses

The truss prices are to include for design, apply and erection of the trusses complete including bolts, gang nailing, connectors, connections, etc. and comply with SABS 0243

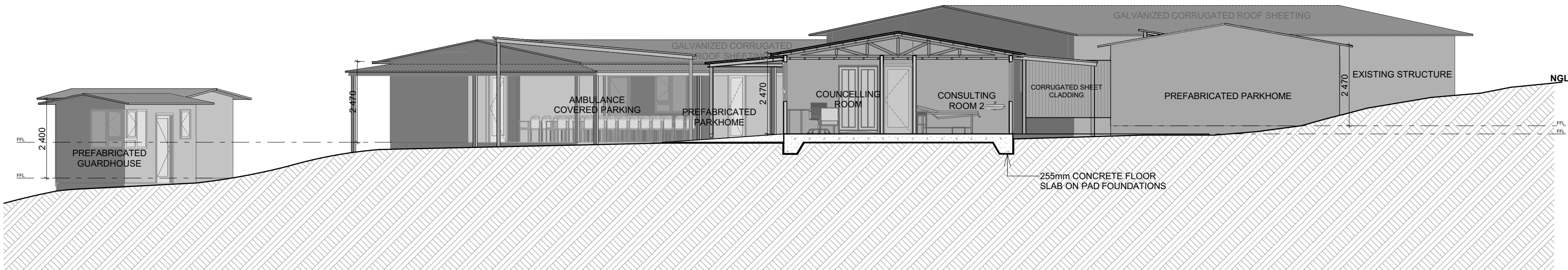
ELEVATIONS & SECTION



ELEVATION E-01

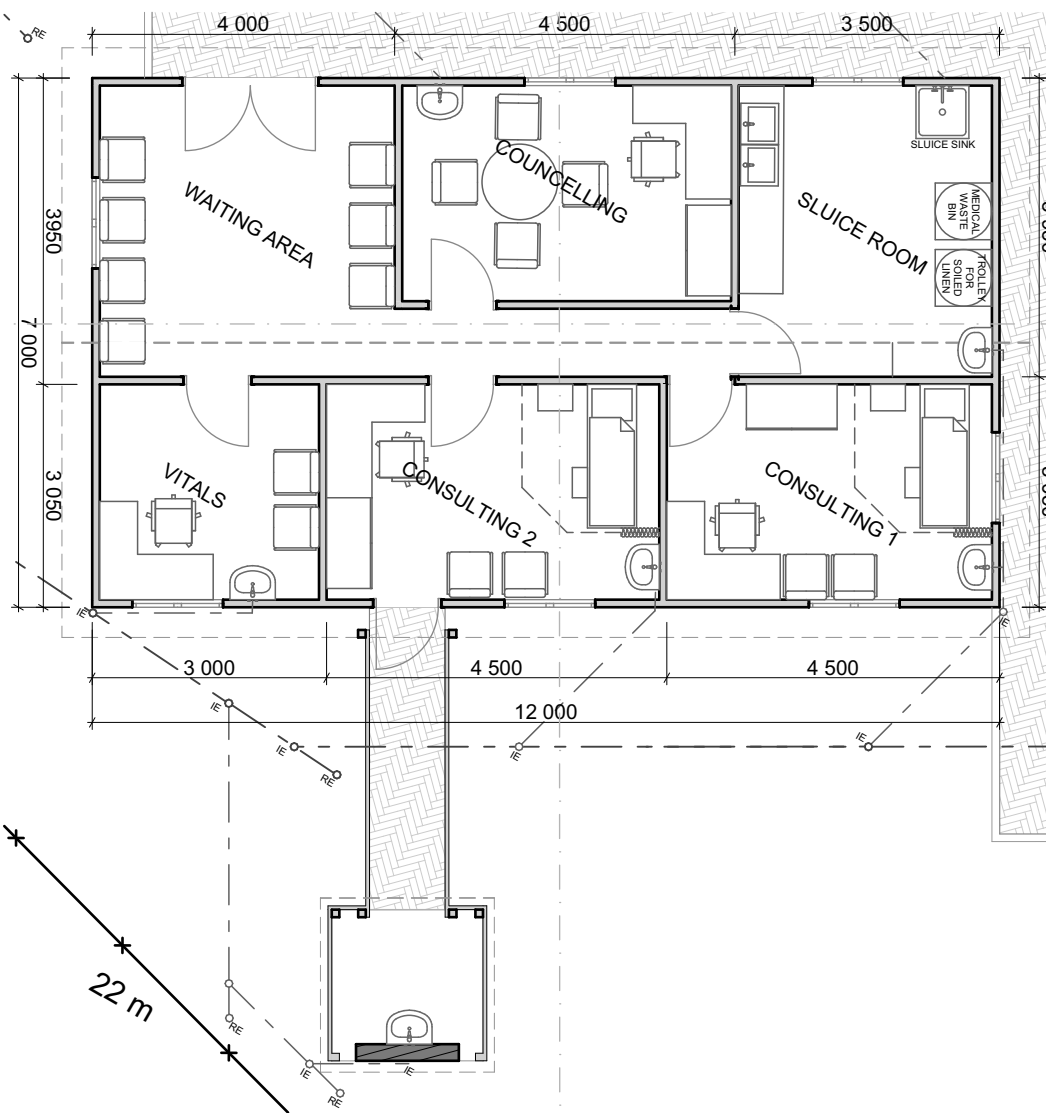
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LEVELS SUBJECT TO CHANGE BASED ON APPOINTED PROFESSIONAL'S ASSESSMENT OF THE SITE

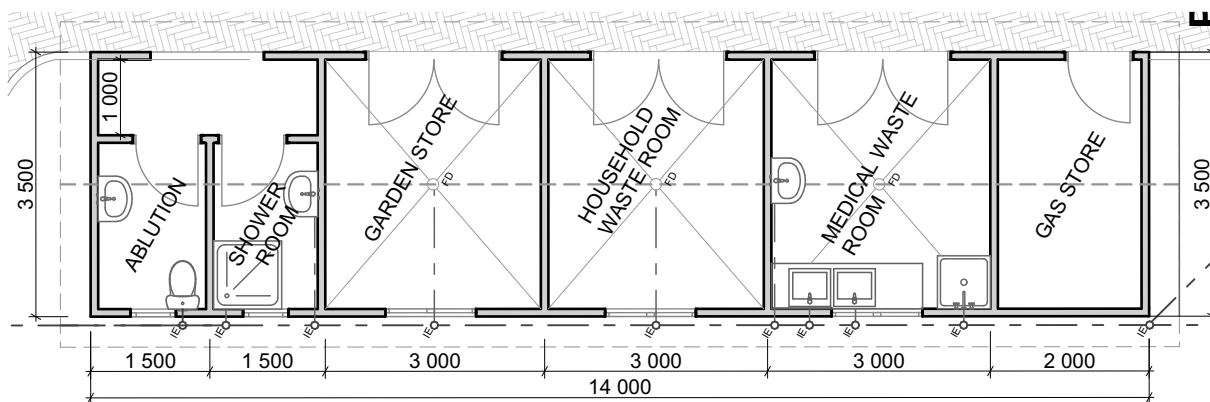


SECTIONAL ELEVATION S-02

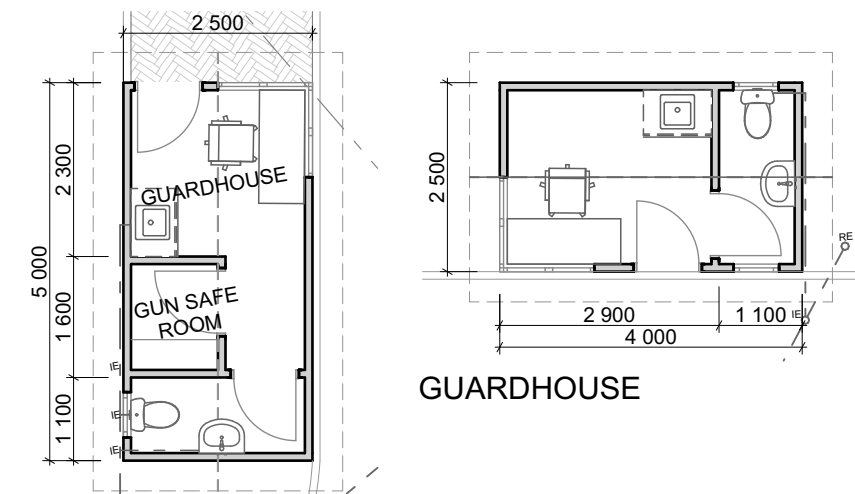
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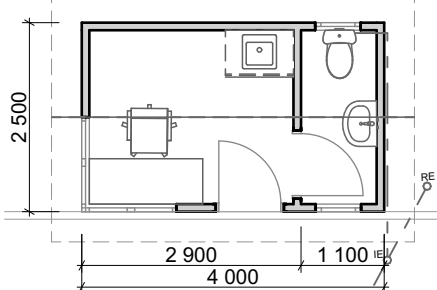
PARKHOME- STREAM 3: CHRONIC CONDITION



PARKHOME- SUPPORT SERVICES AND GUARDHOUSE



GUARDHOUSE



GUARDHOUSE

LEGEND

---	EXISTING WALLS TO BE DEMOLISHED
IE	INSPECTION EYE
RE	RODDING EYE
FD	FLOOR DRAIN

DRAWINGS ARE FOR INFORMATION AND PRICING ONLY AS PER THE TENDER BID DOCUMENT.  
DETAILED DESIGN AND SPECIFICATIONS AS PER APPOINTED PROFESSIONALS BY CONTRACTOR